

Locality Plan
1 : 2500

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Revision		
No.	Description	Date
1	Revision 1	Date 1

Dr Oosthuizen

Proposed Alterations on erf 23496, BMV, George



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www.jdsdesign.co.za Office: 082 060 5142

Municipal Submission

Date 08/08/2018
Drawn: JJP Jacobs SACAP REG NO D 0560

Area Schedule

Name	Area
House	123.3 m ²
Double Garage	43.4 m ²
Covered Stoep	17.0 m ²
Storage Loft	38.8 m ²
Grand total	222.5 m²
Footprint	183.7 m ²
Site	600 m ²
Coverage	30.9%

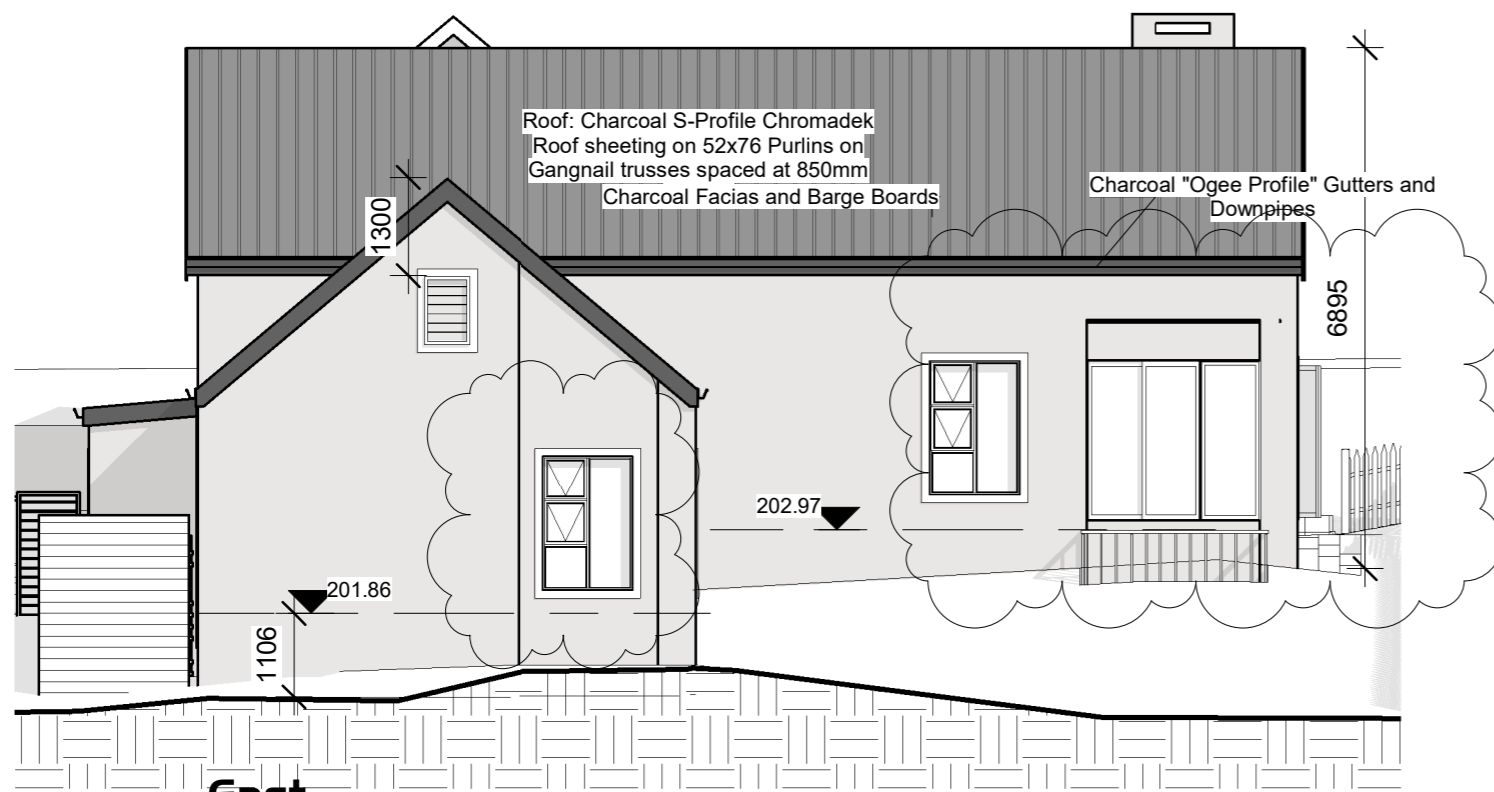
Layout and Info

683-01

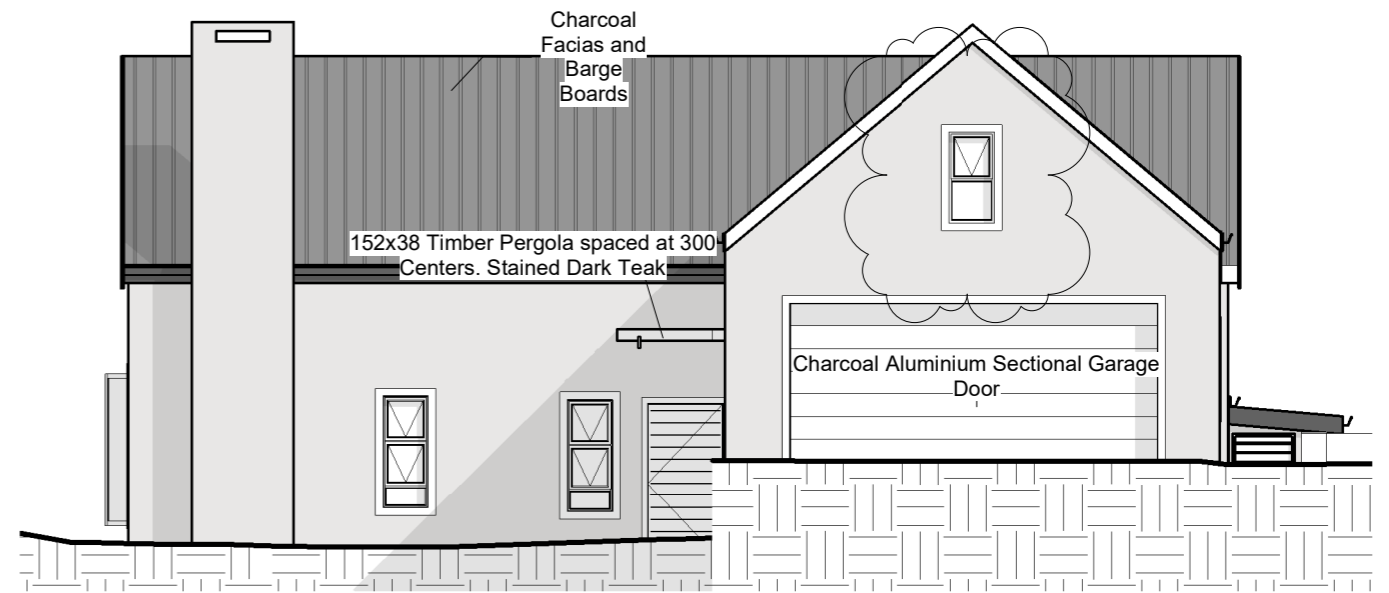
Owner signature

Scale As indicated

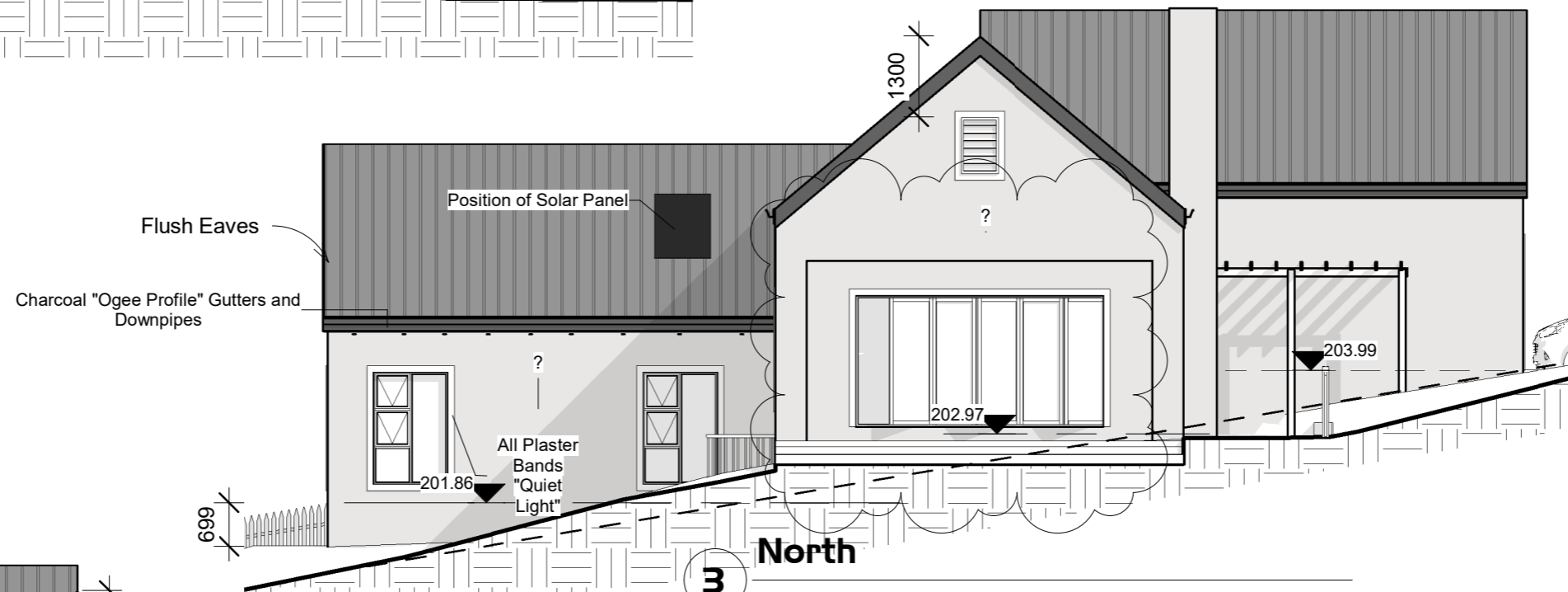
Ol Ground Floor Lvl
1 : 100



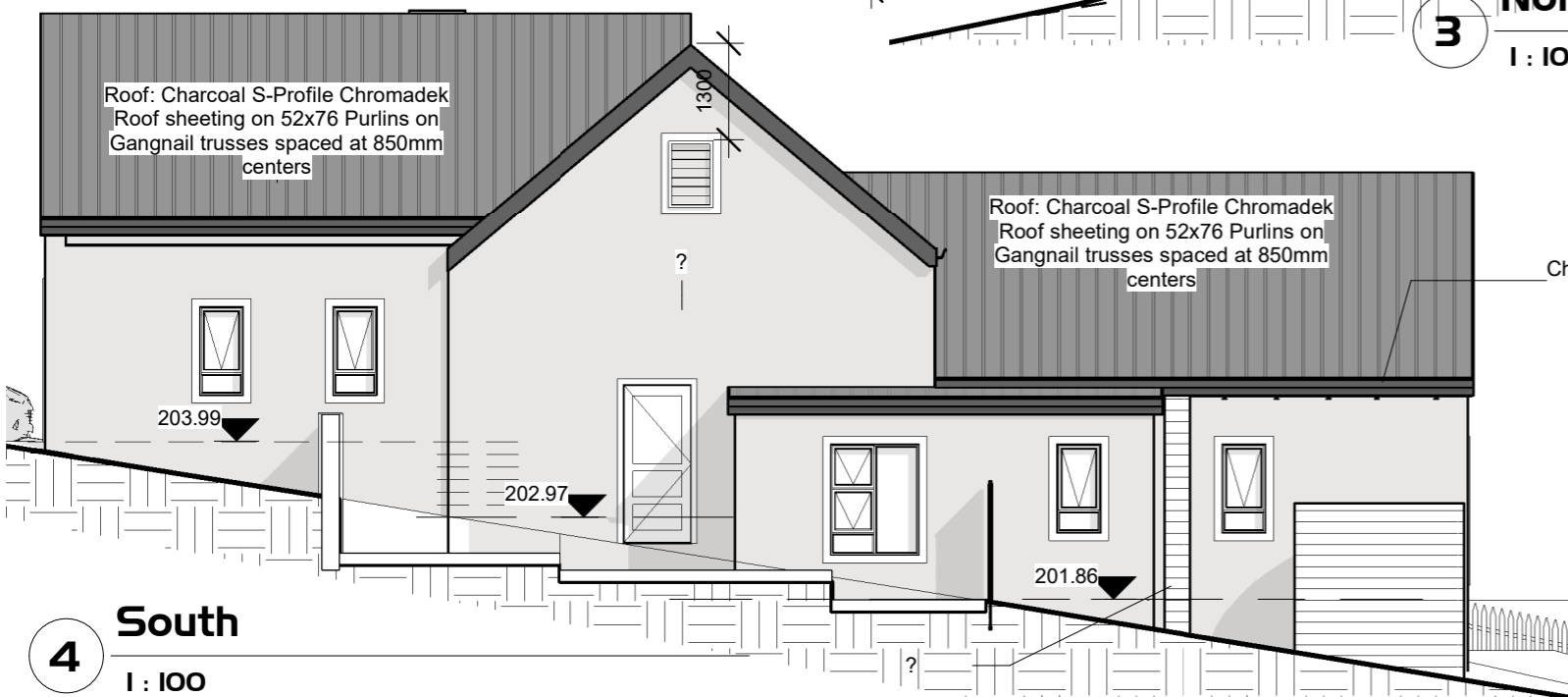
2 East
1 : 100



1 West
1 : 100



3 North
1 : 100



4 South
1 : 100

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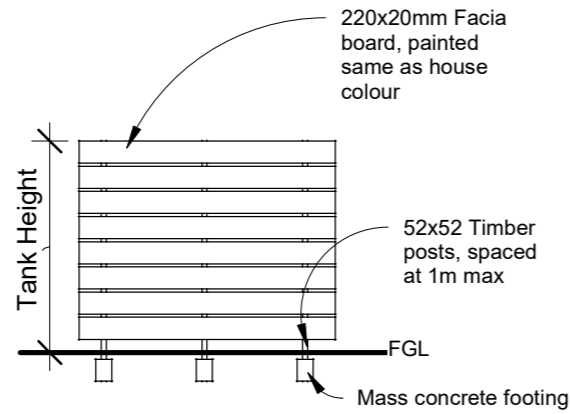
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Elevations

683-02

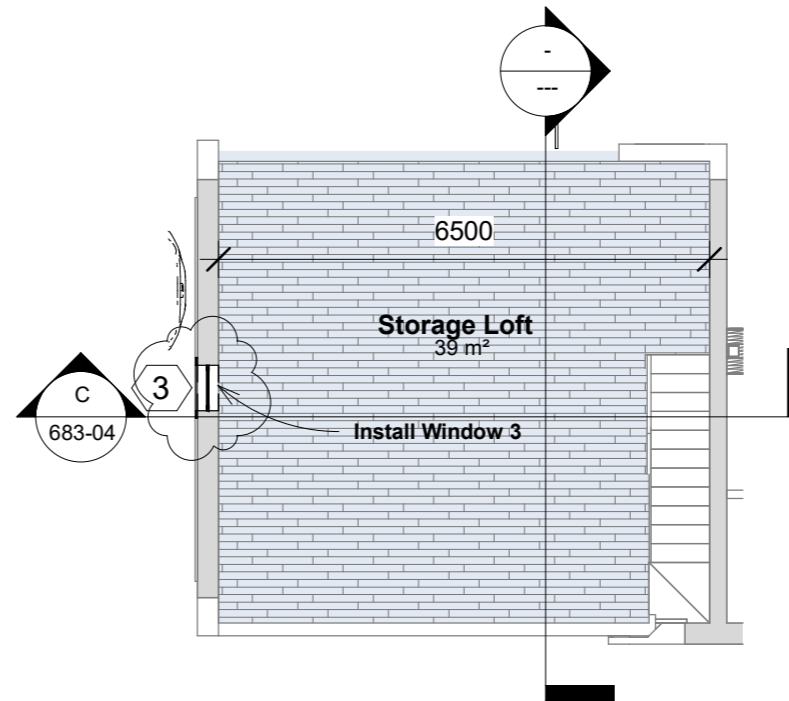
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Scale 1 : 100



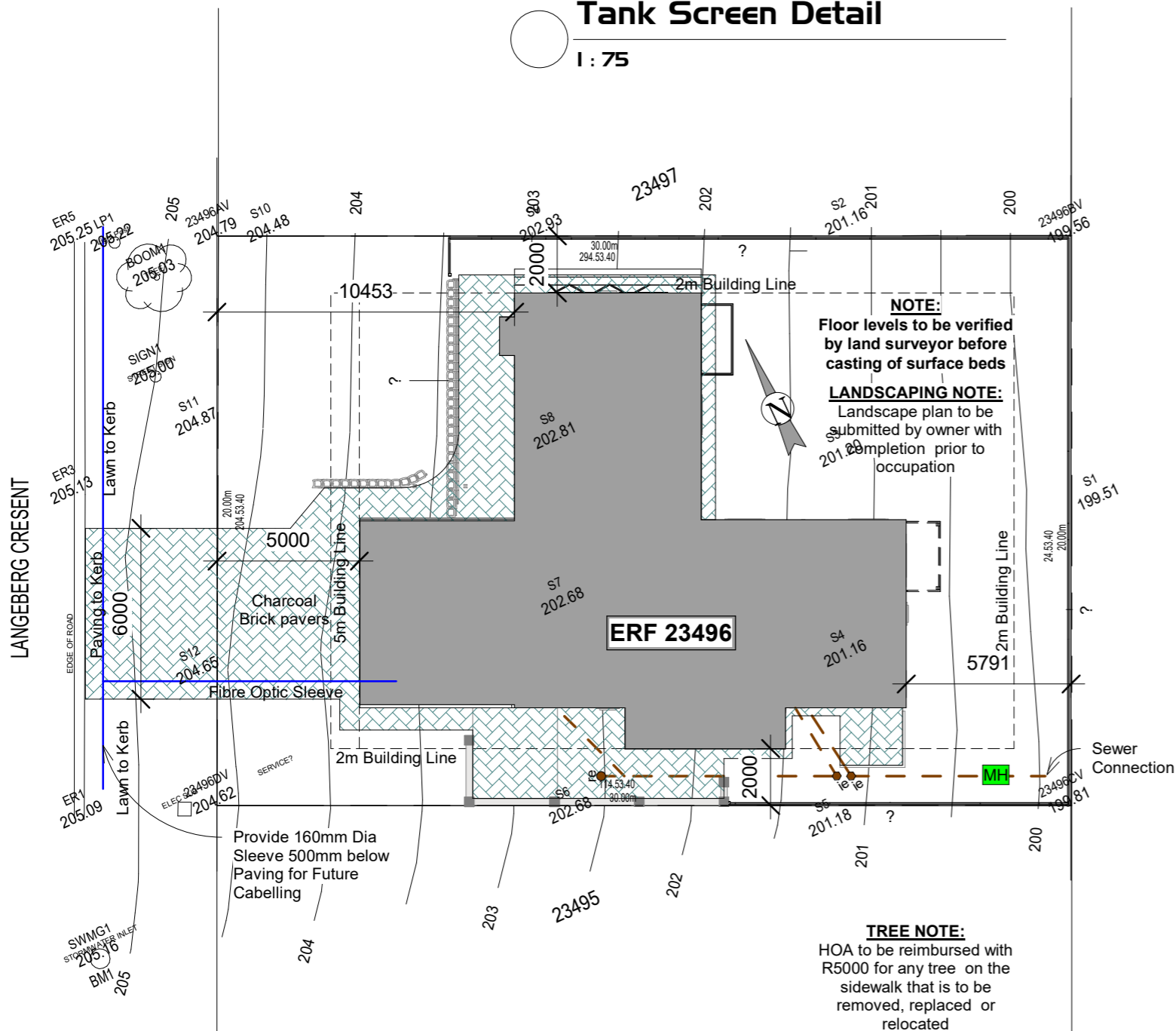
Tank Screen Detail

1 : 75



Loft layout

1 : 100



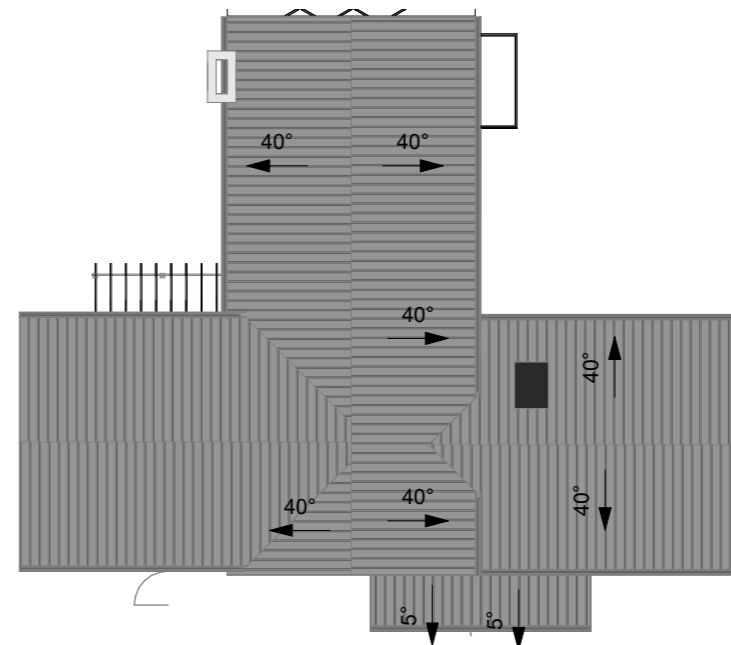
Site Plan

1 : 200

NOTE:
Floor levels to be verified by land surveyor before casting of surface beds

LANDSCAPING NOTE:
Landscape plan to be submitted by owner with completion prior to occupation

TREE NOTE:
HOA to be reimbursed with R5000 for any tree on the sidewalk that is to be removed, replaced or relocated



Roof Plan

1 : 200

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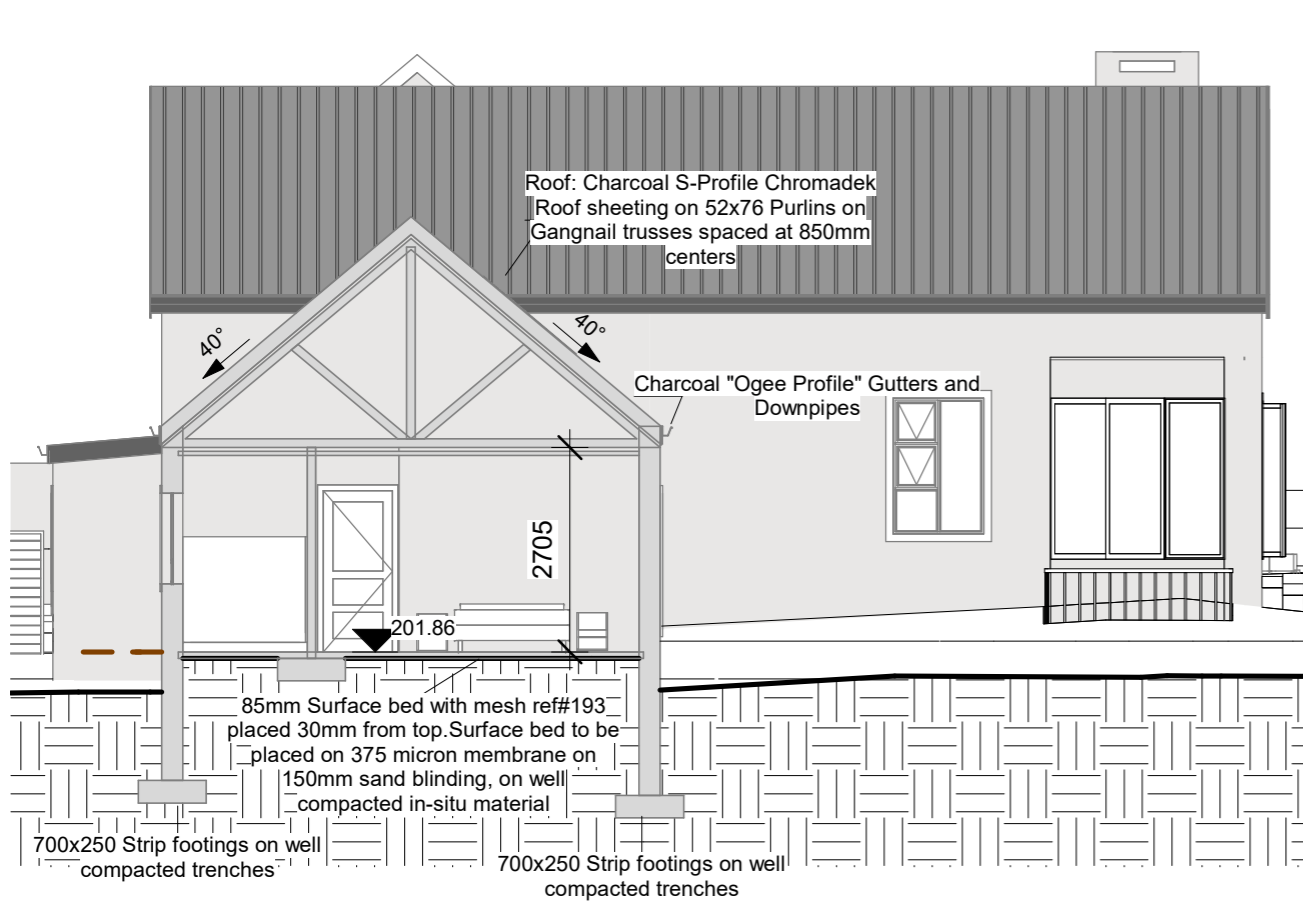
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Site Plan

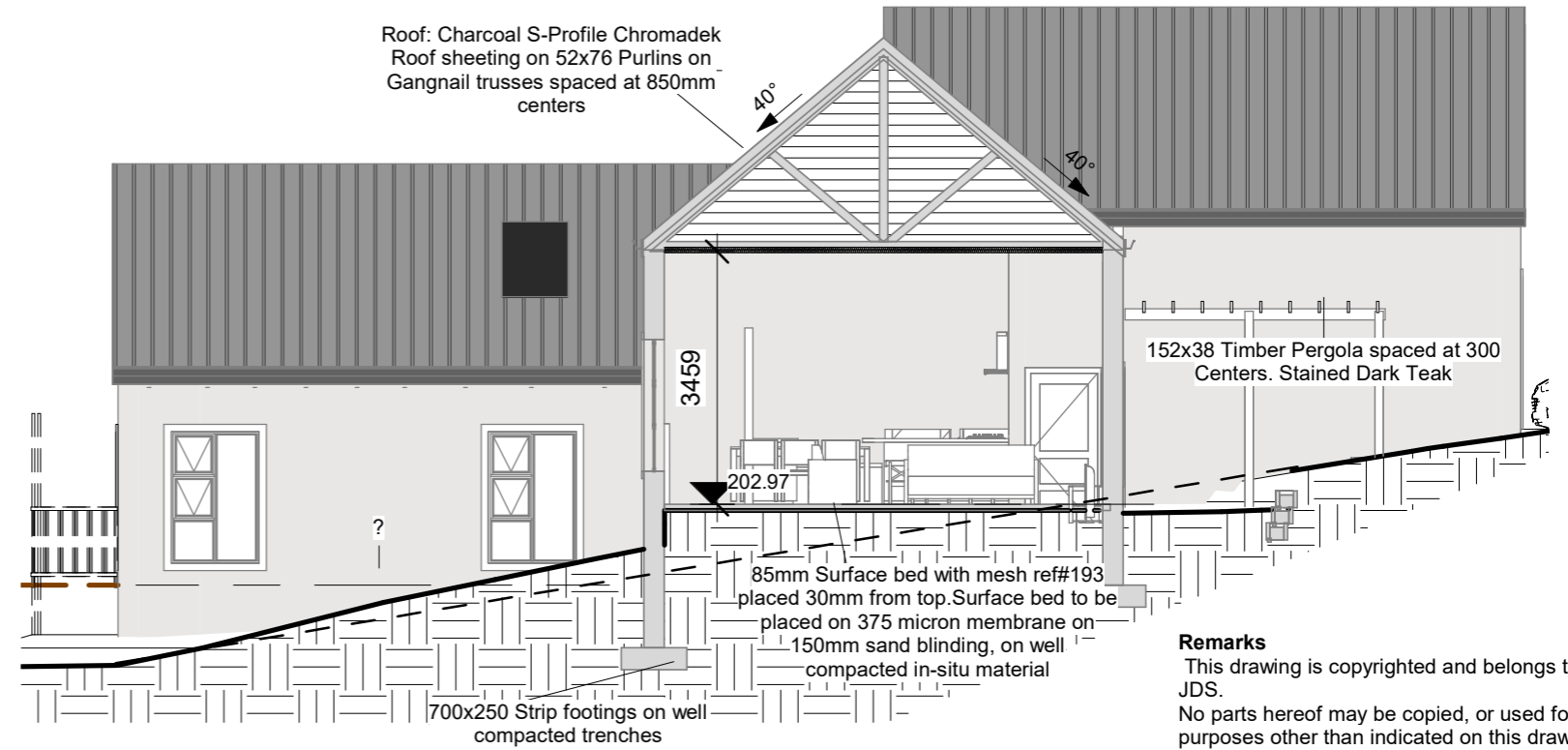
683-03

Scale As indicated

Owner signature



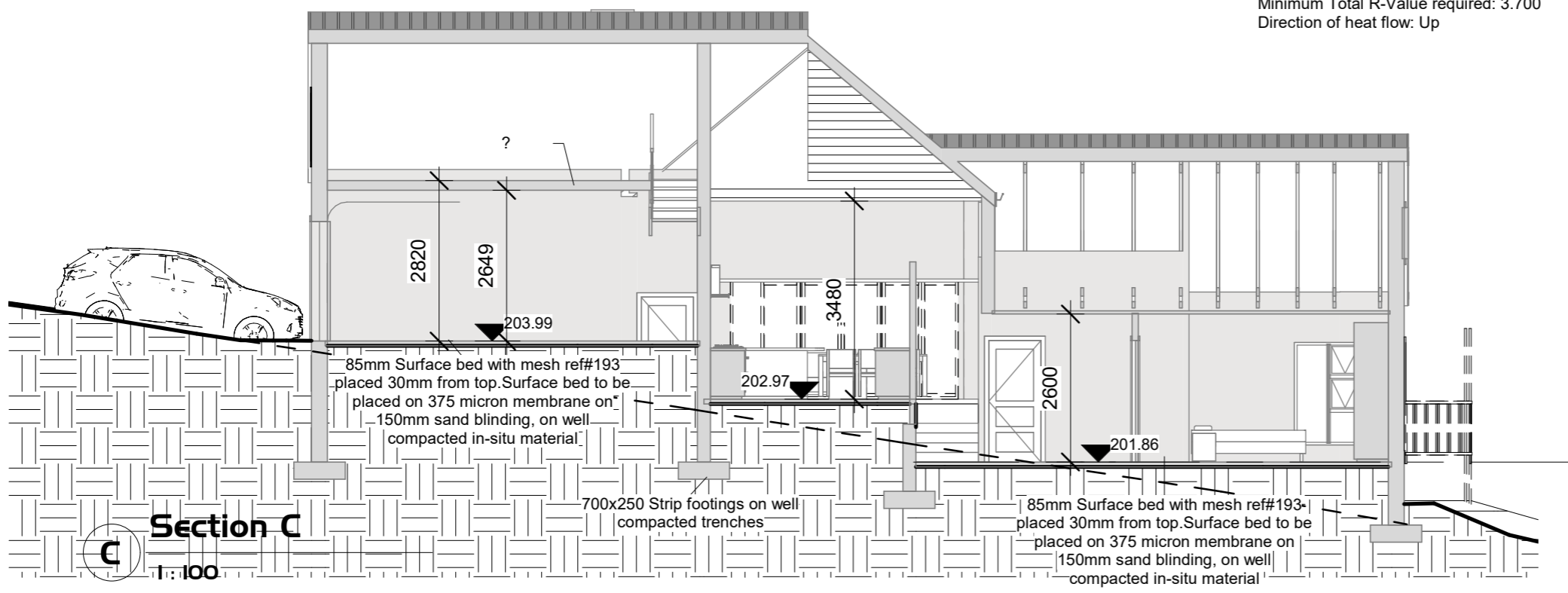
A Section A
1 : 100



B Section B
1 : 100

ROOF ASSEMBLY

Outdoor air film (7m/s)	0.030 (up)
Roof Sheetting	0.020 (up)
Roof air space (non-reflective)	0.180 (up)
Indoor air film (still air)	0.110 (up)
Plasterboard, gypsum(10 mm, 880 kg/m ³)	0.060 (up)
Total Roof covering and Ceiling R-Value	0.400 (up)
Insulation: Target R-Value	3.300 (up)
Required thickness of insulation if using Flexible fibre glass blanket	135mm
Minimum Total R-Value required:	3.700
Direction of heat flow:	Up



C Section C
1 : 100

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Sections

683-04

Owner signature

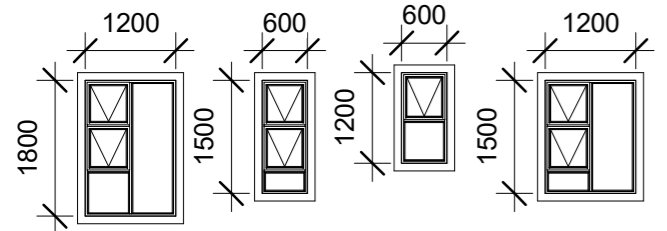
Scale 1 : 100

Energy demand
 Gross area : 185.000 m²
 Energy demand : 5 W/m²
 Total Allowed : 925 W
 Total : 225 W

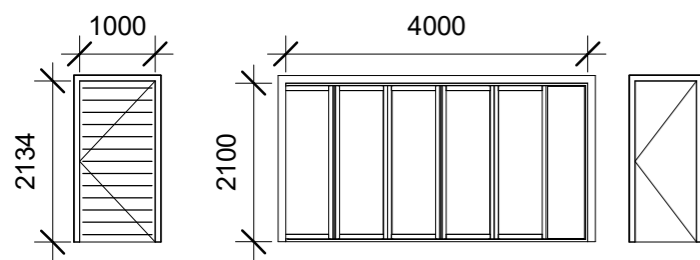
Energy Consumption
 Gross area : 185.000 m²
 Energy consumption : 5 kWh/m²
 Total Allowed : 925 kWh
 Total : 655.2 kWh

FENESTRATION

Area Percentage : 14.630 %
 Nett Floor Area = 146.000 m², Roof light Area = 0.000 m², Windows Area = 12.960 m², Glazed Doors Area = 8.400 m², Curtain Walls Area = 0.000 m²



- W1**
PT 1218
■ Aluminium
■ Charcoal
- W2**
PT 615
■ Aluminium
■ Charcoal
- W3**
PT 612
■ Aluminium
■ Charcoal
- W4**
PT 1215
■ Aluminium
■ Charcoal



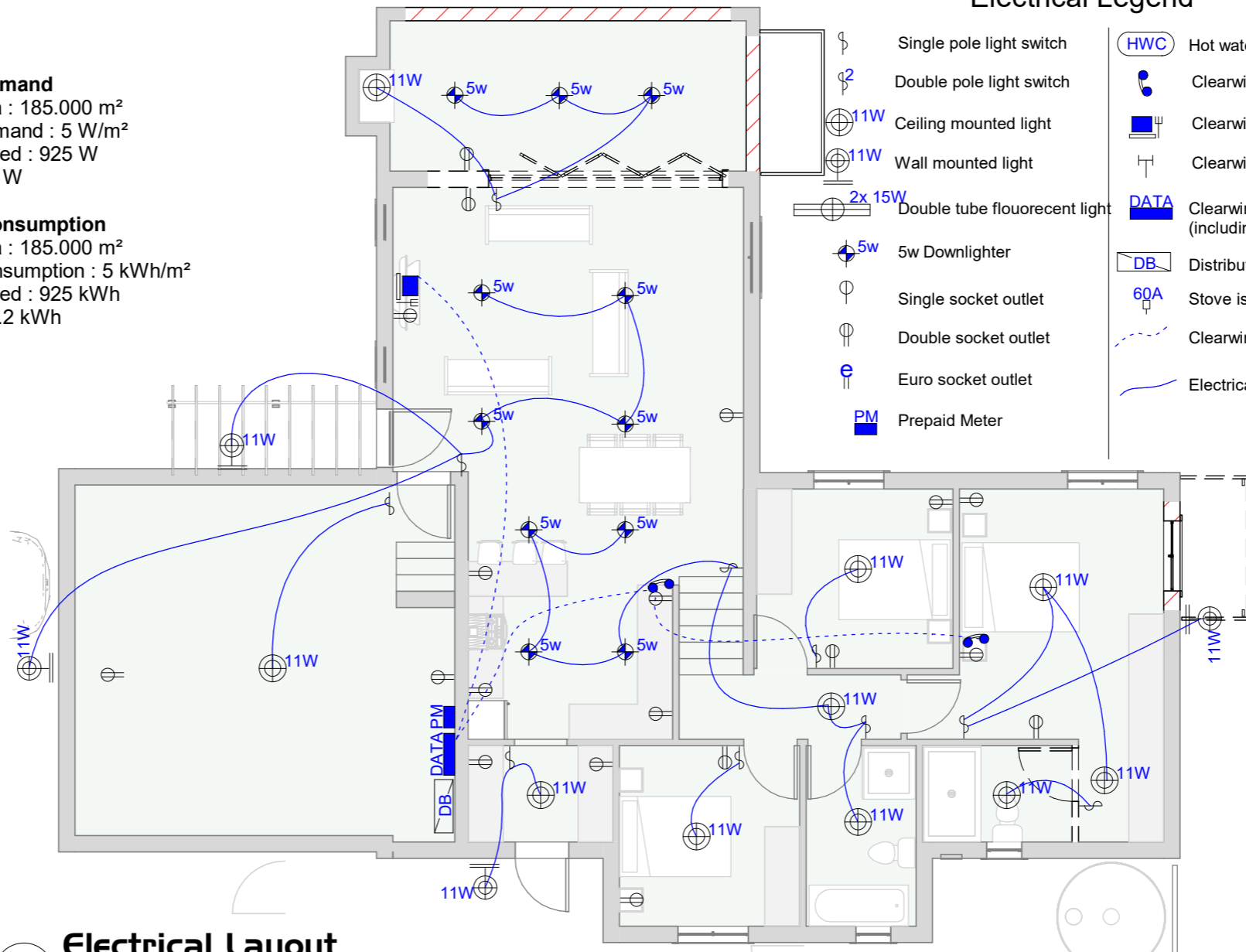
- D1**
Exterior Pivot Door
■ Timber
■ Dark Teak
- D2**
Aluminium sliding door
■ Charcoal in colour
- D3**
Standard hollow core interior door
- D4**
Standard hollow core interior door
- D5**
Overhead Sectional Door.
■ Charcoal in colour
- D6**
Yard Gate
■ Timber
■ Dark Teak
- D7**
Solid Hardcore Exterior Door
■ Timber
■ Dark Teak
- D8**
Aluminium sliding door
■ Charcoal in colour

Window and Door Schedule

I : 100

Electrical Legend

- Single pole light switch
- Double pole light switch
- Ceiling mounted light
- Wall mounted light
- Double tube flourecent light
- 5w Downlighter
- Single socket outlet
- Double socket outlet
- Euro socket outlet
- Prepaid Meter
- HWC Hot water cylinder
- Clearwire Telephone/ Intercom
- Clearwire Internet Connection
- Clearwire Antenna in roof
- DATA Clearwire Data Box as per HOA (including electrical outlet)
- DB Distribution Board
- 60A Stove isolator switch
- Clearwire Circuit
- Electrical Connections



Electrical Layout

I : 100

CLEARWIRE NOTE
 Contractor to consult with Clearwire prior to Installation

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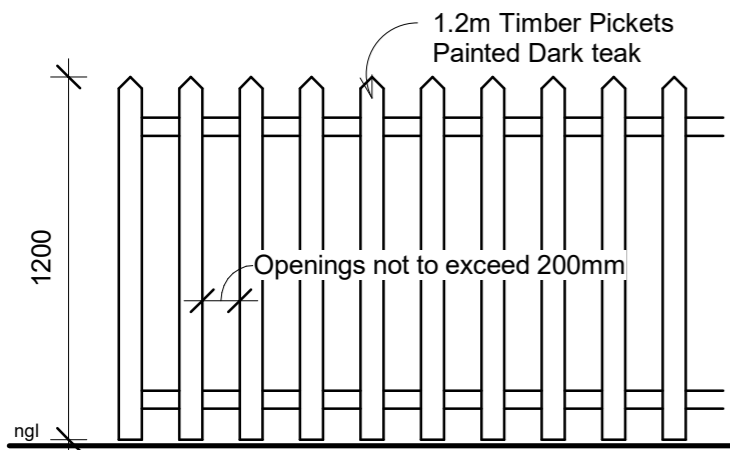
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Electrical and Schedules

683-05

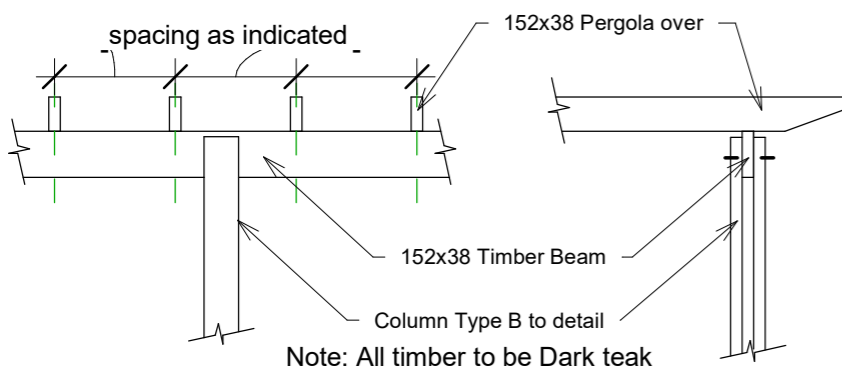
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Scale 1 : 100



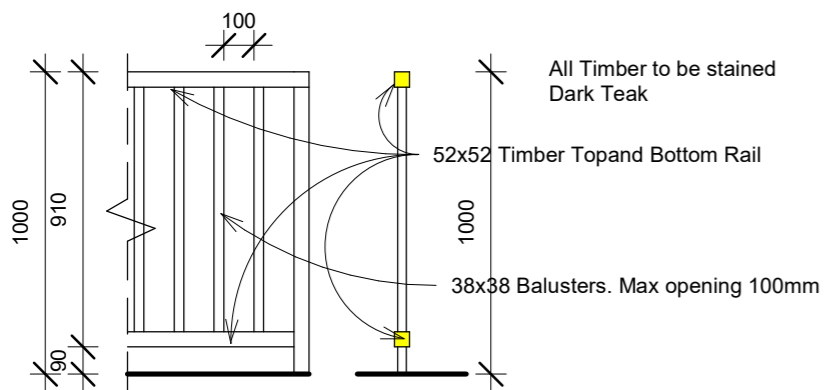
Picket Fence Detail

1 : 25



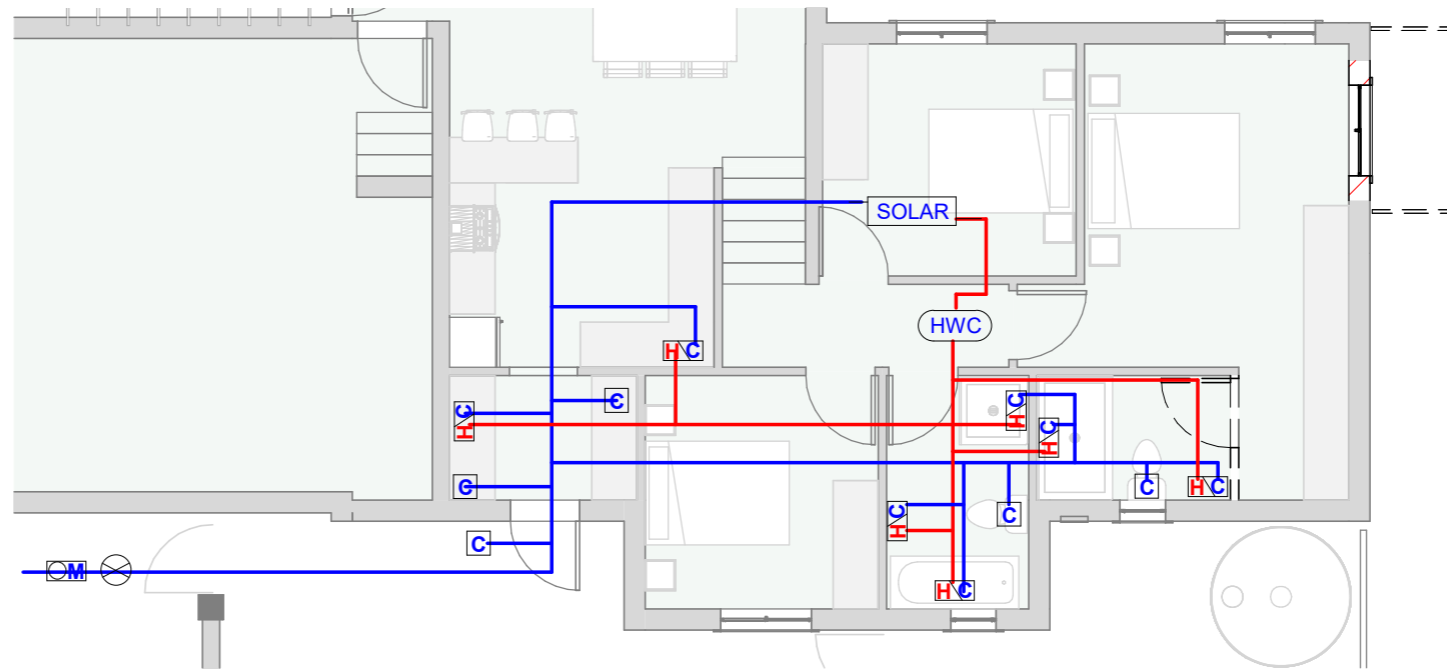
Pergola Detail

1 : 25



Balustrade Detail

1 : 25



Water Reticulation

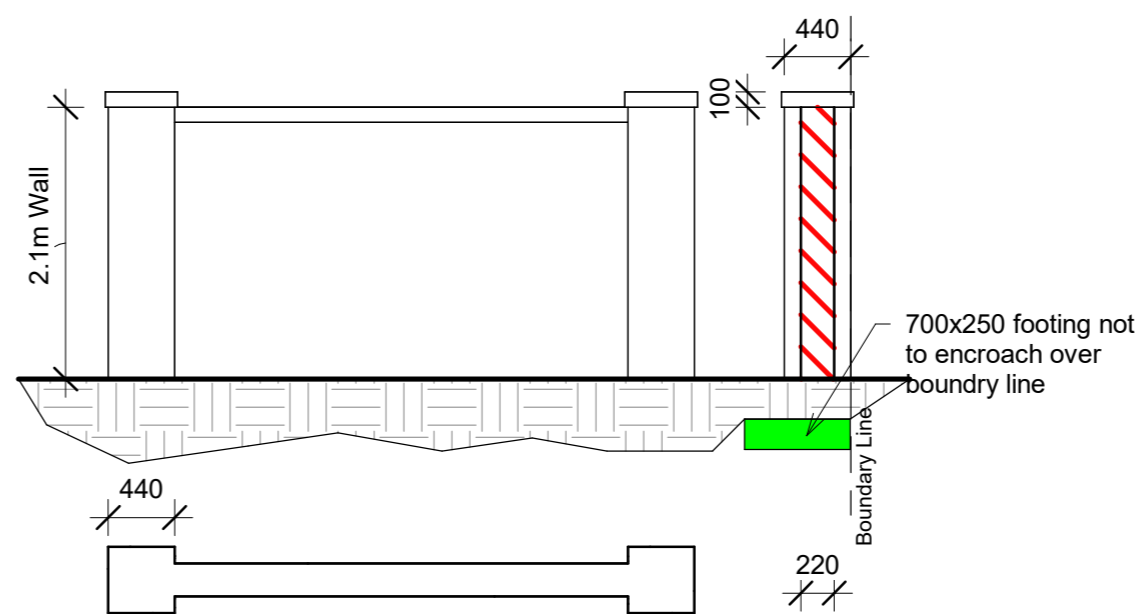
1 : 100

Hot Water Demands

100% Hot water per Day (Min) : 460 L
 100% Hot water per Day (Max) : 560 L
 100% Hot water per annum (Min) : 167440 L
 100% Hot water per annum (Max) : 203840 L

50% Hot water per Day (Min) : 230 L
 50% Hot water per Day (Max) : 280 L
 50% Hot water per annum (Min) : 83720 L
 50% Hot water per annum (Max) : 101920 L

Pipe Size
 Min R-Value = 1,00
 Hot water vessels and tanks shall be insulated with a material achieving a minimum R-value of 2,0.



Type D Wall Detail

1 : 50

LEGEND

- Hot Water Feed
- - - Hot Water Return
- Cold Water
- HWC Hot water cylinder
- SOLAR Solar panel Geyser
- C H Hot and Cold Taps
- HC Water Mixer Tap
- M Water Meter
- ⊗ Stopcock

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Water and Details

683-06

Owner signature

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